



## **Building Guide – Addition to a House**

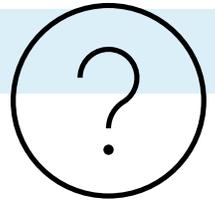
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**Last Updated: February 7, 2024**

## Common Questions:



### Planning/Zoning:

During the preliminary planning stage of your project, it is imperative that you determine what Zone applies to your property. If you are unsure, you can reach out to our Planning or Building department to find out.

All building and development proposals must comply with the Town's [Zoning Regulations](#).

Zoning requirements regulate the use, size, location, and types of building permitted on a parcel of land.

Some information you will require from the Zoning By-law will include but is not limited to:

- Minimum Building Setbacks
- Building Height restrictions
- Total building area and lot coverage permitted.

### Do I need Engineered approvals?

Engineer approval is required for all engineered components e.g., roof trusses, or other items not covered under Part 9 of the Ontario Building Code and must be submitted with your permit application. The information provided in these drawings will be used during plans review to verify such things as footing size, bearing wall locations, lintel sizes, beam spans, point loads and rain/snow/wind loads, etc.

### Can I get electrical permits through the Township?

No, please contact the Electrical Safety Authority (ESA) to obtain electrical permits and to arrange for inspections of your electrical system.

### Does my septic system need to be reviewed if I am building an addition?

Yes, if your existing dwelling is serviced by a private septic system, the Ontario Building Code requires that the “performance level” (the ability of the septic system to

## Common Questions Continued:

function properly) of the existing septic system cannot be reduced. It further states the performance level may be reduced where proposed construction will result in exceeding the capacity of any component of the septic system by any of the following:

1. Increase the number of bedrooms in the existing house.
2. Exceed 15% of the existing finished area of the existing house.
3. Add new plumbing fixtures to the existing house.

In order to determine possible performance level changes resulting from your plans, we require you to complete a [Septic Change of Use](#) application with your Building Permit application. During the review process, we will look at the existing septic system design and the proposed changes to confirm that the performance level of the septic system will not be adversely affected because of the changes.

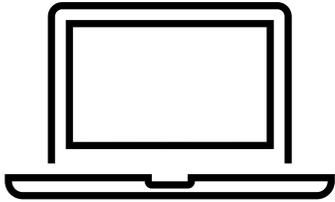
### What is a septic use permit?

Following issuance of a septic permit and all related inspections, a Septic Use Permit is provided by the authority (local municipality or health unit) confirming the location, size and capacity of the septic system that is installed on the property.

### Do I need to provide a copy of my Septic Use Permit?

Yes, a Septic Use Permit will confirm the location, size, and capacity of the septic system currently installed on the property. Septic Use Permits are provided at the time of closure of the permit. If you do not have one and would like a copy of your Septic Use Permit, please complete our [Online Form](#). Please note this is a paid service, records were previously kept by a different governing body, this means we may or may not have the document. There is a service charge for this request, regardless of if we have the document or not.

## Online Submissions:



All permit applications are to be submitted online via our [Web Portal](#). Before you begin, please ensure that all required documents are complete and signed (as applicable). Scan each document separately and give it a recognizable file name and save it to your computer.

For further assistance please see our **Digital Permit Submission Guide**.

## Permit Issuance:



Once the permit has been completely reviewed by all internal and external agencies the applicant will be contacted via email and informed of any action required for the permit to be issued. **Permit fees are payable upon issuance.**

Building permit fees are determined by an established cost per square foot, and/or by established flat fees as detailed in the Township of Springwater

[Fees and Charges By-law.](#)

## Scheduling Inspections:

After the permit has been issued it is the responsibility of the applicant to schedule inspections throughout the completion of the work. The required inspection(s) will be outlined on the Permit Card provided at the time of issuance.



Please note although every attempt has been made to provide accurate information throughout this guide, it is subject to change without notice and is provided **as a guide only**. It is not intended to be used instead of the current Municipal By-laws or the current Building Code

# Permit Submission Checklist:

## 1. Completed Building Permit Application:

Application for a Permit to Construct or Demolish & Schedule: Designer information



Septic Change of Use Application (if applicable)

Septic Permit Application (if applicable)

## 2. Required Supporting Documents:

Site Plan; showing the location and dimensions of the proposed structure on the site plan and the setbacks to the lot lines and tree preservation area if present. The site plan must also show all existing buildings with dimensions. If the lot is serviced by an on-site sewage system, the location of the septic must be identified on the plan. A Septic Use Permit may be requested online.

Letter of Authorization (if other than the property owner)

Lot Grading Plan; (may be required if:

- Addition is constructed within 3 m (10 ft) of property line,
- is more than 55 m<sup>2</sup> (592 sq.ft.) on a lot less than 0.5 acres,
- Retaining wall placed within 1.2 m (4 ft) of property line,
- change in grade more than 300 mm (12 in) within 3 m (10 ft) of property line, or
- alters drainage swale or ditch on the property.)

Permit Drawings showing all materials & dimensions including:

- Foundation Plan
- Floor Plan(s)
- Cross Section(s)
- All elevations
- Wall Sections

## Permit Submission Checklist Continued:

- Structural Drawings: to scale including footing/foundation or slab details, wall stud sizes, roof rafter/roof joist sizes (ridge beam if applicable, and ceiling joist sizes if applicable).
- Roof Plan: showing conventional framed roof details (ridge beam if applicable) or roof Truss Layout and Stamped Engineered Truss profiles.
- Engineering Required: Engineered Trusses, Timber Framing, Slabs more than 55 m<sup>2</sup> (592 sq.ft.), point loads on lintels/beams. Lintels bearing trusses in excess of 9.8 m (32'2"). Any construction outside of Part 9.
- Heat loss/design layout/ ventilation design summary sheet
- A separate permit is required for septic if the proposed construction results in a septic upgrade being required or any component of the septic needs to be relocated.

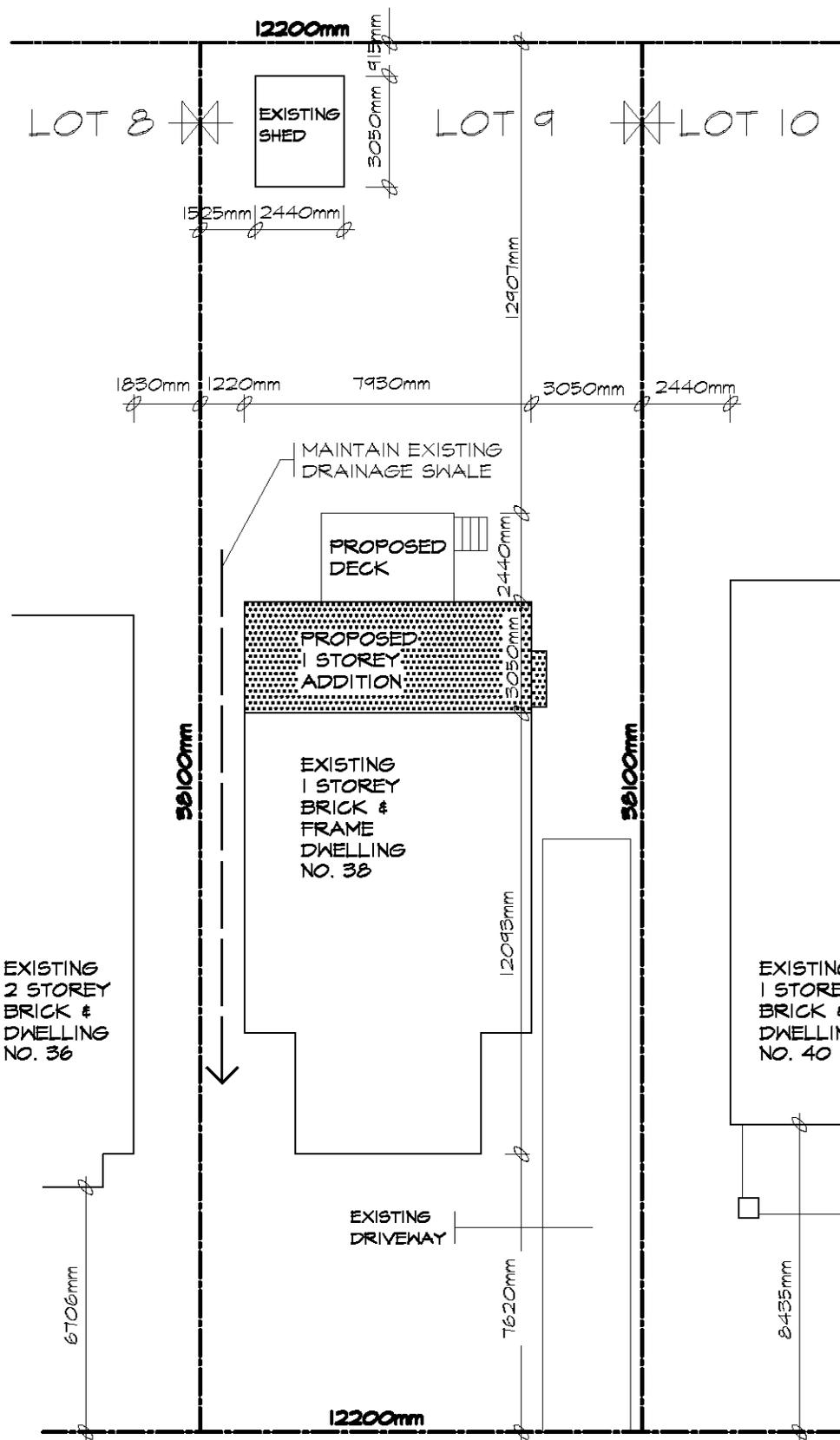
### 3. Applicable Law:

- Applicable law approval. Please check using the following links to determine if they apply to your property:

[Conservation Authority Approval](#)

[Ministry of Transportation Approval](#)

[County Of Simcoe Approval](#)



### SITE PLAN

SCALE 1:200

SKETCH OF SURVEY OF  
LOT 9  
REG'D PLAN 4220  
CITY OF TORONTO  
B.C. TRANSIT. O.L.S.  
DECEMBER 31ST, 1999

## KHALMUR CRESCENT

ZONING	LOT NO:		PLAN NO:		LOT AREA		LOT FRONTAGE		LOT DEPTH	
R2 Z0.6	LOT 9		4220		580.64m <sup>2</sup>		12200mm		38110mm	
DESCRIPTION	EXISTING	ADDITION	TOTAL	%	ALLOWED	%	SETBACKS	EXISTING	PROPOSED	
LOT COVERAGE	86.52m <sup>2</sup>	24.15m <sup>2</sup>	110.65m <sup>2</sup>	19.0	-----		FRONT YARD	7620mm	7620mm	
GROSS FLOOR AREA	86.52m <sup>2</sup>	24.15m <sup>2</sup>	110.65m <sup>2</sup>	19.0	348.39m <sup>2</sup>	60.0	REAR YARD	18390mm	12907mm	
LANDSCAPED AREA	-----	-----	-----		-----		INTERIOR SIDE (east)	3050mm	3050mm	
NO. OF STORIES HEIGHT	1 STOREY 4550mm	1 STOREY 4550mm	1 STOREY 4550mm		10000mm		INTERIOR SIDE (west)	1220mm	1220mm	
WIDTH	7930mm	7930mm	7930mm		-----		EXTERIOR	-----	-----	
DEPTH	12093mm	3050mm	15143mm		17000mm					
PARKING	-----	-----	-----		-----					

NOTE: ZONING RESTRICTIONS VARY IN EVERY MUNICIPALITY. CONTACT YOUR LOCAL MUNICIPAL OFFICE FOR SPECIFIC SETBACKS AND OTHER LIMITATIONS IN YOUR AREA.

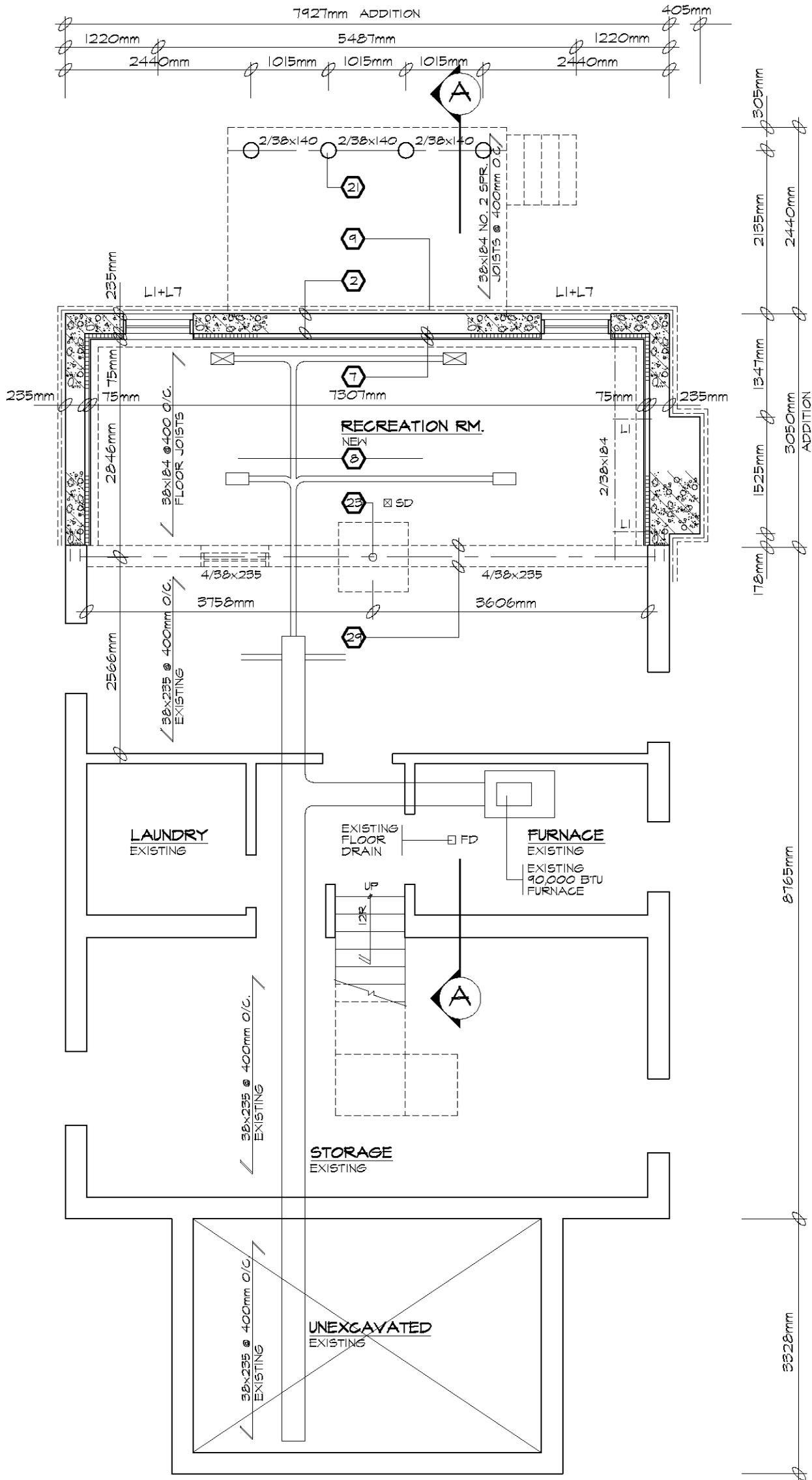
**TACBOC**  
STANDARD DETAIL

TITLE  
SAMPLE DRAWING  
SITE PLAN

DWG. NO.

A03a

2007



**BASEMENT PLAN**

SCALE 1:50

**TACBOC**  
STANDARD DETAIL

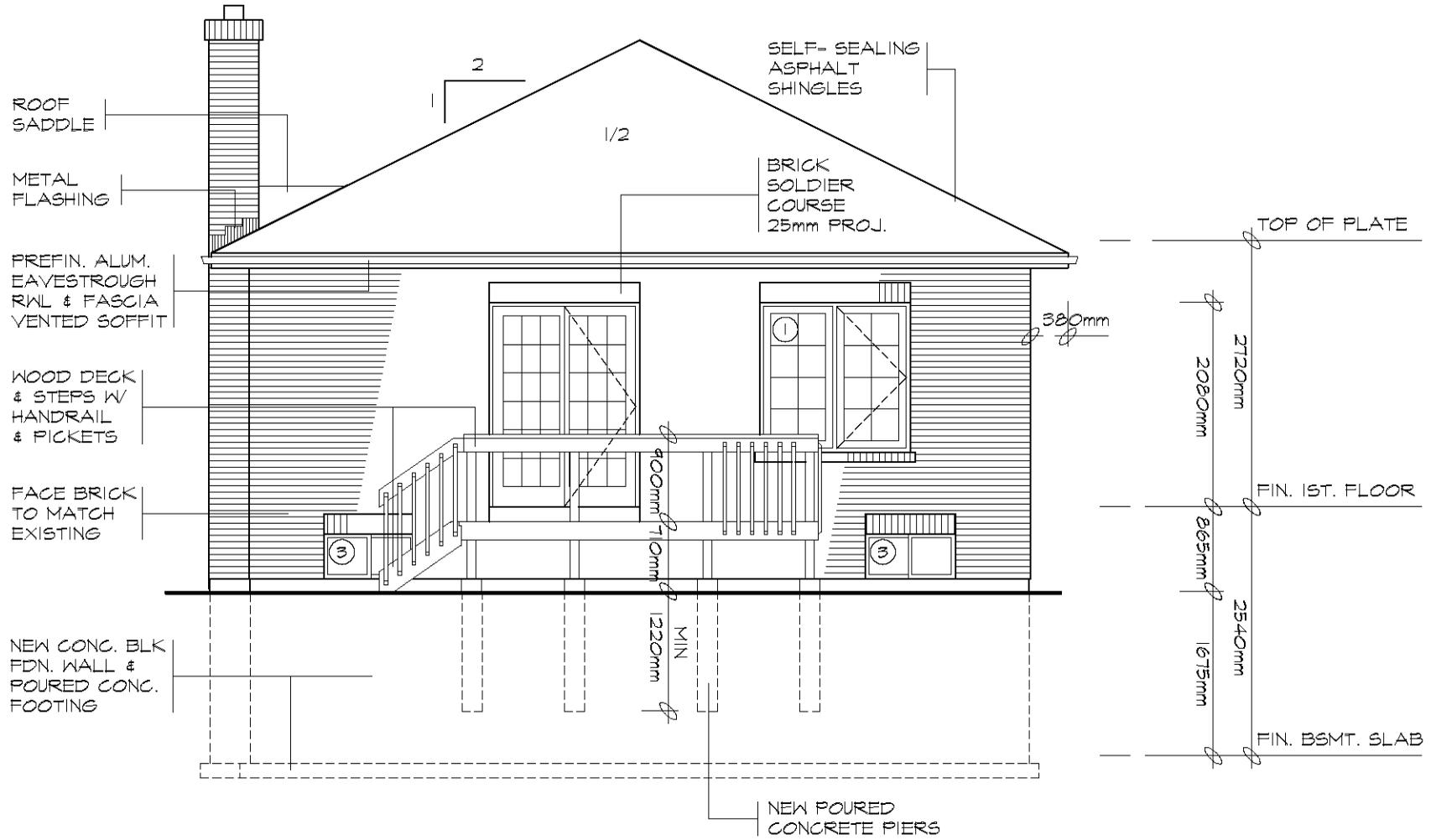
TITLE  
SAMPLE DRAWING  
BASEMENT PLAN

DWG. NO.

**A03b**

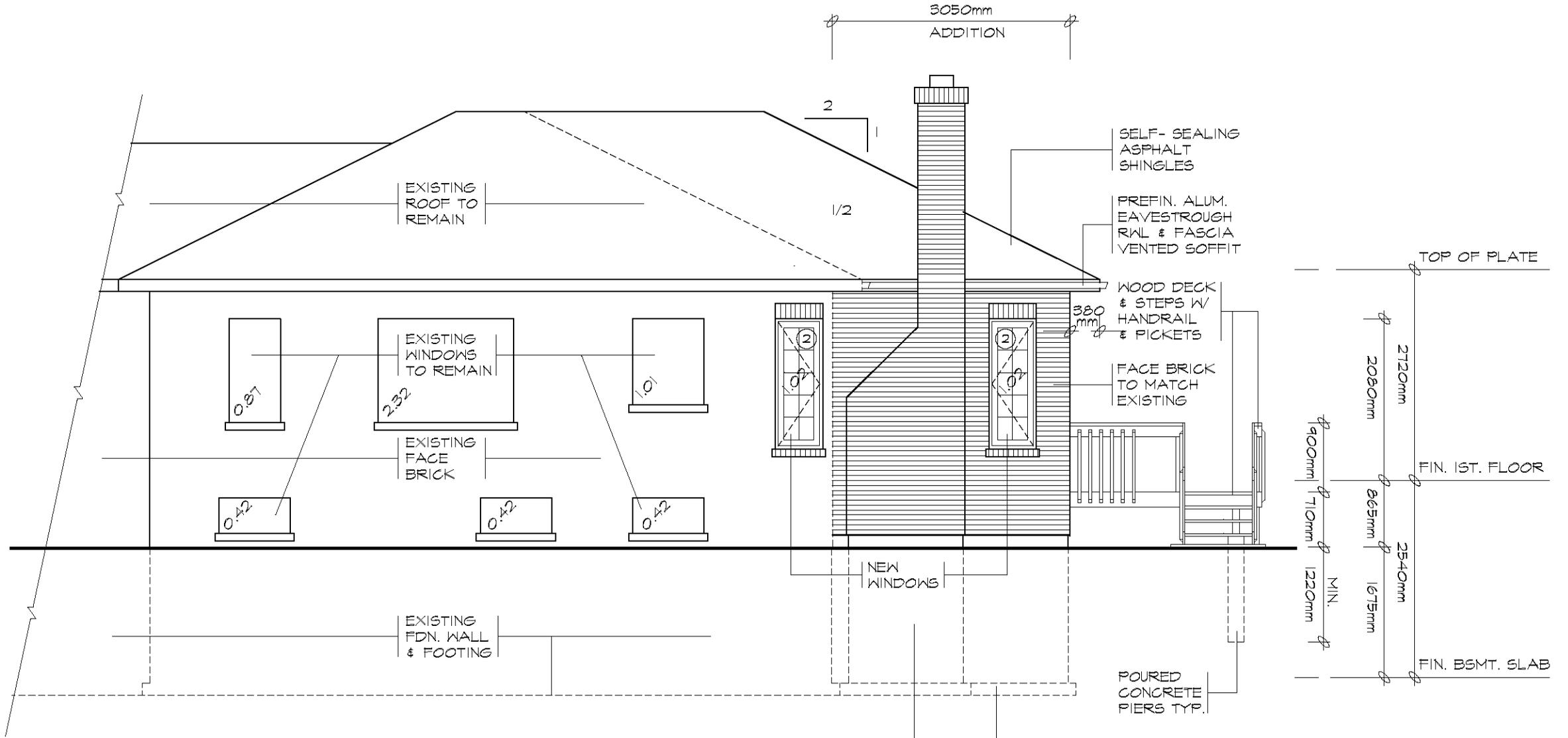
2007





NORTH ELEVATION

SCALE 1:50

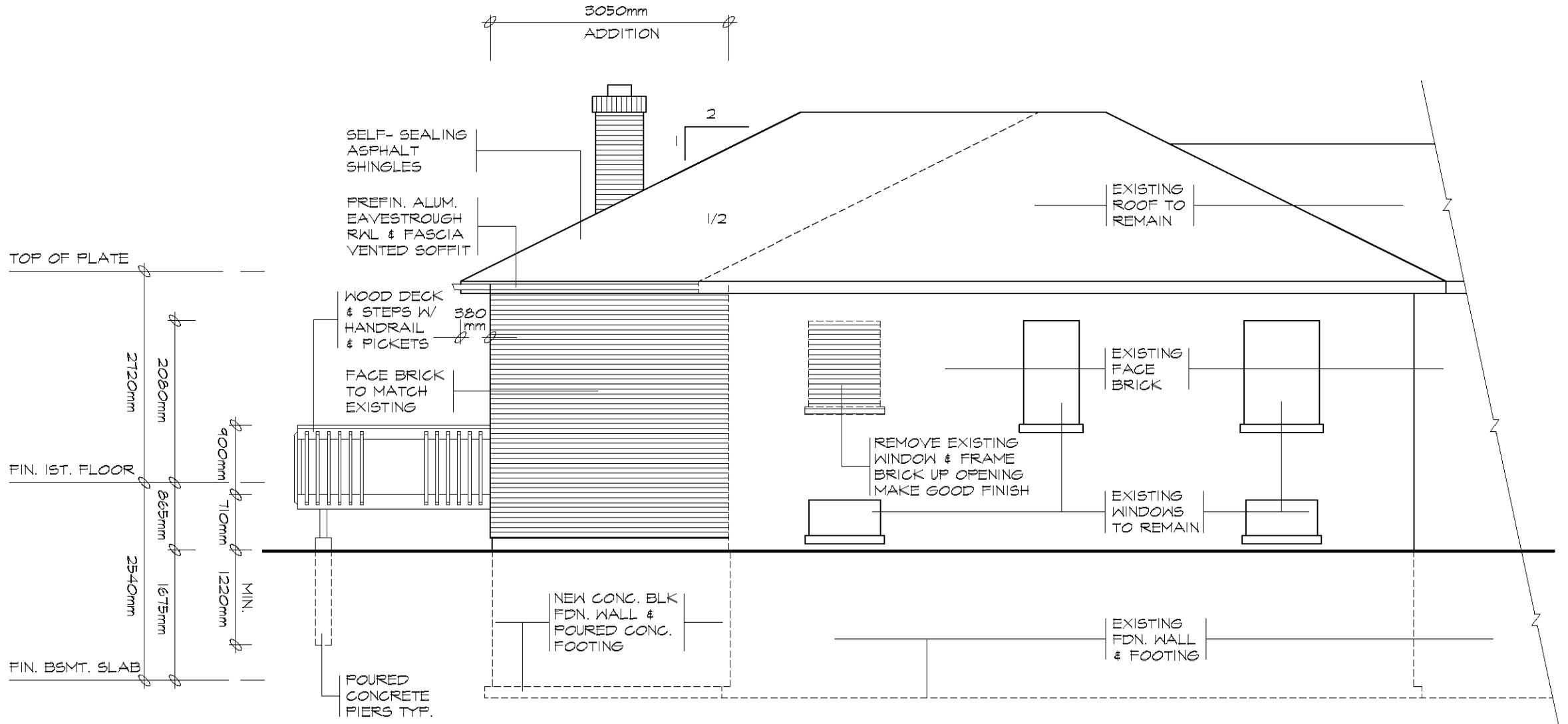


**EAST ELEVATION**

SCALE 1:50

**UNPROTECTED OPENINGS**

WALL AREA	42.36m <sup>2</sup>
LIMITING DISTANCE	3050mm @ 18.00%
MAX. ALLOWABLE OPENINGS	7.62m <sup>2</sup>
TOTAL OPENINGS PROVIDED	7.50m <sup>2</sup>



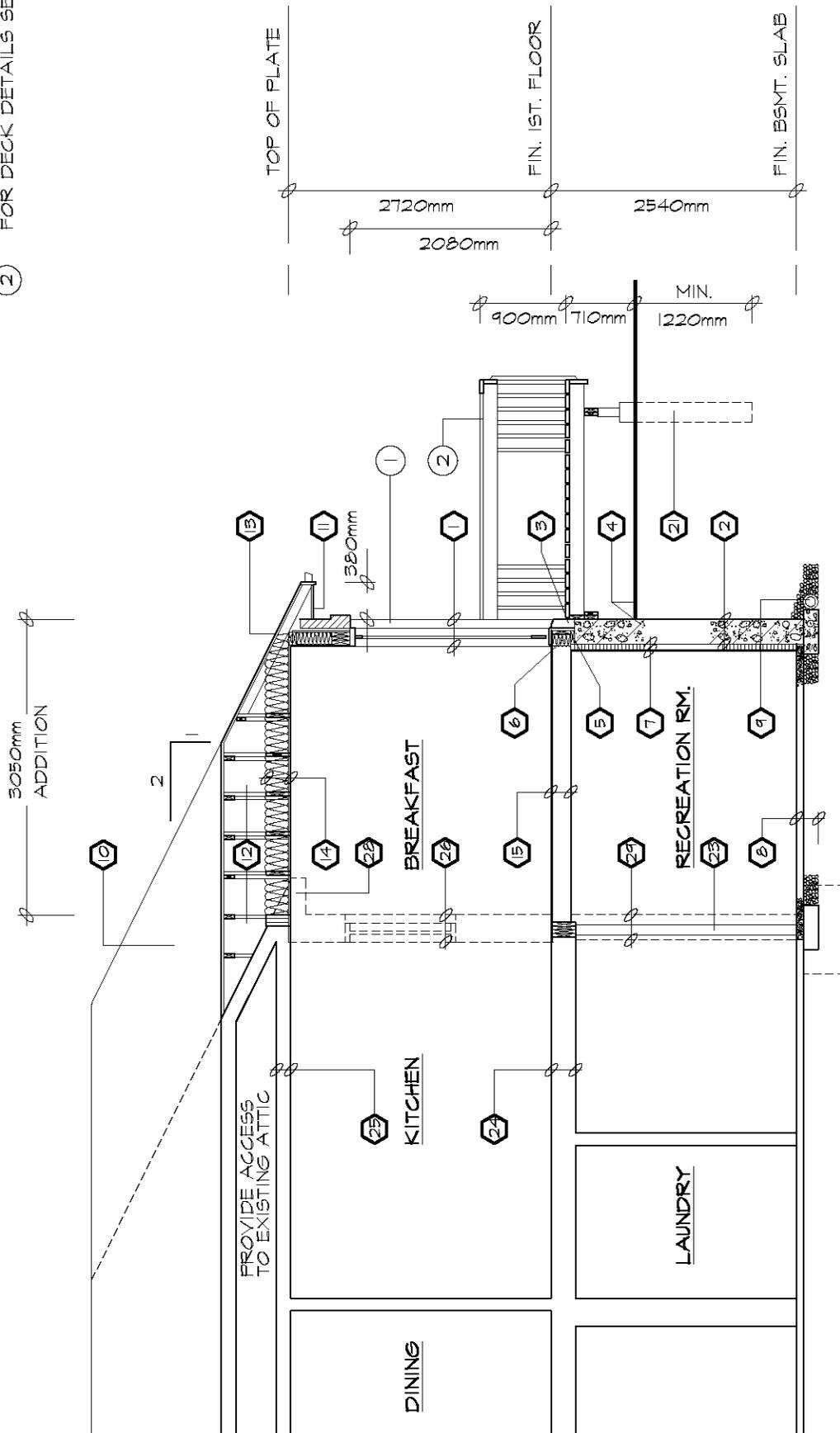
WEST ELEVATION

SCALE 1:50

UNPROTECTED OPENINGS

NO NEW OPENINGS  
EXISTING TO REMAIN

- ① FOR WALL SECTION SEE A02
- ② FOR DECK DETAILS SEE D01a - D01d



**SECTION A-A**

SCALE 1:50

# CONSTRUCTION SPECIFICATIONS

- 1 BRICK VENEER WALL**  
 90mm FACE BRICK, 25mm AIR SPACE  
 0.76mm THICK x 22mm WIDE  
 GALVANIZED METAL TIES  
 INSTALLED W/ GALVANIZED  
 SPIRAL NAILS OR SCREWS  
 400mm O.C. HORIZ., 600mm O.C. VERT.  
 AIR BARRIER, LAYERS  
 TO OVERLAP EACH OTHER  
 EXTERIOR TYPE SHEATHING  
 38x140 WOOD STUDS @ 400mm O.C.  
 RSI 4.23 BATT INSUL. IN CONTINUOUS  
 CONTACT W/ EXTERIOR SHEATHING  
 CONTINUOUS AIR / VAPOUR BARRIER  
 12.7mm INTERIOR DRYWALL FINISH  
 DOUBLE PLATE @ TOP  
 SOLE PLATE @ BOTTOM
- 2 FOUNDATION WALL**  
 BITUMINOUS DAMPPROOFING ON  
 MINIMUM 6mm PARING ON  
 CONCRETE BLOCK FDN. WALL  
 TOP BLOCK COURSE FILLED  
 W/ MORTAR OR CONCRETE  
 PROVIDE PARING COVERED OVER  
 450mmx150mm POURED CONC. FOOTING  
 TO BEAR ON UNDISTURBED SOIL  
 PROVIDE DRAINAGE LAYER  
 - MIN. 19mm MINERAL FIBRE  
 INSULATION W/ A DENSITY OF  
 NOT LESS THAN 57kg/m<sup>3</sup> OR  
 - MIN. 100mm OF FREE DRAINING  
 GRANULAR MATERIAL OR  
 - A B.M.E.C. APPROVED  
 DRAINAGE LAYER MATERIAL
- 3 BRICK VENEER @ FDN. WALL**  
 0.5mm POLY FLASHING MINIMUM  
 150mm UP BEHIND SHEATHING PAPER  
 WEEP HOLES @ MIN. 300mm APART
- 4 GRADE**  
 SLOPE GRADE AWAY FROM  
 BUILDING FACE & PROVIDE  
 SEMI-SOLID BLOCK COURSE  
 AT OR BELOW GRADE LEVEL
- 5 SILL PLATE**  
 38x140 SILL PLATE FASTENED  
 TO FOUNDATION WALL WITH  
 MIN. 12.7mm DIA. ANCHOR BOLTS  
 EMBEDDED MIN. 100mm IN CONCRETE  
 @ 2400mm O.C. MAX. & PROVIDE A  
 CONTINUOUS AIR BARRIER BETWEEN  
 THE FOUNDATION WALL & WOOD  
 FRAME CONSTRUCTION
- 6 FLOOR INSULATION**  
 CONTINUOUS HEADER JOIST WITH  
 RSI 5.46 BATT INSULATION, EXTEND  
 VAPOUR / AIR BARRIER & SEAL  
 TO JOIST AND SUBFLOOR
- 7 FOUNDATION INSULATION**  
 12.7mm INTERIOR DRYWALL FINISH  
 38x89 WOOD STRAPPING @ 400mm O.C.  
 MIN. RSI 3.52 INSULATION W/ 0.15mm POLY  
 VAPOUR BARRIER FULL HEIGHT.  
 MOISTURE BARRIER TO HEIGHT OF  
 EXTERIOR GRADE BETWEEN  
 FOUNDATION WALL & WOOD FRAMING
- 8 BASEMENT SLAB**  
 75mm POURED CONCRETE SLAB  
 (25 MPa CONC. STRENGTH)  
 100mm CRUSHED STONE BELOW
- 9 DRAINAGE**  
 100mm DIA. WEEPING TILE W/  
 150mm CRUSHED STONE COVER
- 10 ROOF CONSTRUCTION**  
 20 YEAR ASPHALT SHINGLES W/  
 EAVES PROTECTION ON MIN. 9.5mm  
 EXTERIOR PLYWOOD SHEATHING  
 ON APPROVED ROOF TRUSSES OR  
 CONVENTIONAL FRAMING (SEE PLANS)  
 USE 'H' CLIPS IF 600mm O.C. SPACING
- 11 OVERHANG CONSTRUCTION**  
 PREFINISHED ALUMINUM FASCIA,  
 EAVESTROUGH & RAIN WATER LEADERS  
 TO MATCH EXISTING FINISHES. PROVIDE  
 DRIP EDGE AT FASCIA & VENTED SOFFIT  
 EXTEND DOWNSPOUTS TO GRADE LEVEL
- 12 ROOF VENTILATION**  
 1:300 OF THE INSULATED CEILING  
 AREA UNIFORMLY DISTRIBUTED.
- 13 EAVES PROTECTION**  
 EAVES PROTECTION MEMBRANE TO  
 EXTEND FROM THE EDGE OF THE  
 ROOF, 900mm UP THE SLOPE BUT NOT  
 LESS THAN 300mm BEYOND THE  
 INTERIOR FACE OF THE EXTERIOR WALL
- 14 CEILING CONSTRUCTION**  
 15.9mm INTERIOR DRYWALL FINISH  
 CONTINUOUS AIR / VAPOUR BARRIER  
 W/ MINIMUM RSI 0.81 BATT INSULATION
- 15 FLOOR CONSTRUCTION**  
 15.5mm T&G PLYWOOD SUBFLOOR  
 38x184 FLOOR JOISTS @ 400mm O.C.  
 FLOOR JOISTS BRIDGED W/  
 CONTINUOUS 19mmx64mm STRAPPING  
 OR 2 ROWS OF 38mmx38mm CROSS  
 BRIDGING OR SOLID BLOCKING
- 16 INTERIOR STUD PARTITION**  
 12.7mm DRYWALL FINISH BOTH SIDES OF  
 38x89 WOOD STUDS @ 400mm O/C  
 2 TOP PLATES & 1 BOTTOM PLATE  
 PROVIDE REINFORCEMENT FOR FUTURE  
 GRAB BAR INSTALLATION IN BATHROOM
- 17 MECHANICAL VENTILATION**  
 PROVIDE MIN. 5.0 L/S IN KITCHENS  
 AND BATHROOMS, 37.5 L/S FOR  
 PRINCIPAL EXHAUST FAN
- 18 STAIRS INTERIOR/EXTERIOR**  

MAXIMUM RISE	=	200mm
MINIMUM RISE	=	125mm
MINIMUM RUN	=	210mm
MAXIMUM RUN	=	355mm
MINIMUM TREAD	=	235mm
MAXIMUM TREAD	=	355mm
MAXIMUM NOSING	=	25mm
MINIMUM WIDTH	=	860mm
MINIMUM HEADROOM	=	1950mm
- 19 GUARDS**  

INTERIOR LANDINGS	=	900mm
EXTERIOR BALCONY	=	1070mm
INTERIOR STAIRS	=	900mm
EXTERIOR STAIRS	=	900mm
MAX. BETWEEN PICKETS	=	<100mm

GUARD HEIGHT IF  
 DECK TO GRADE IS:  
 GREATER THAN 1800mm = 1070mm  
 1800mm OR LESS = 900mm  
 NO MEMBER OR ATTACHMENT  
 BETWEEN 140mm & 900mm HIGH  
 SHALL FACILITATE CLIMBING
- 20 ATTIC ACCESS**  
 PROVIDE ATTIC ACCESS  
 MIN. 545mmx588mm W/ INSULATION  
 & WEATHER STRIPPING
- 21 PIERS**  
 PROVIDE 200mm DIA. SONO TUBE  
 FOR POURED CONCRETE PIERS  
 MINIMUM 1200mm BELOW GRADE
- 22** EXISTING SOLID MASONRY  
 EXTERIOR WALL TO REMAIN.
- 23** 73mm DIA. PIPE COLUMN W/  
 100mmx100mmx6.35mm  
 TOP & BOTTOM PLATE  
 1m x 1m x 450mm CONCRETE FOOTING
- 24** EXISTING FLOOR STRUCTURE  
 TO REMAIN.
- 25** EXISTING CEILING STRUCTURE  
 TO REMAIN.
- 26** REMOVE EXISTING EXTERIOR WALL  
 AS SHOWN DOTTED
- 27** REMOVE EXISTING INTERIOR STUD  
 PARTITIONS AS SHOWN DOTTED
- 28** REMOVE EXISTING ROOF OVERHANG  
 AS SHOWN DOTTED
- 29** REMOVE EXISTING FOUNDATION WALL  
 AS SHOWN DOTTED
- 30** REMOVE EXISTING WINDOW & FRAME  
 MAKE GOOD OPENING W/ BRICK TO  
 MATCH EXISTING ON THE EXTERIOR
- 31** INSTALL A CARBON MONOXIDE  
 DETECTOR CONFORMING TO  
 CAN/CGA-6.19 OR UL 2034

**ROOM FINISH SCHEDULE**

RM. NO.	ROOM NAME	FLOOR		BASE		WALLS		CEILING			REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	
	FIRST FLOOR										
1	KITCHEN	CERAMIC TILE	-----	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	
2	BREAKFAST	WOOD	STAIN	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	MAPLE TO MATCH EXISTING
3	BEDROOM	WOOD	STAIN	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	MAPLE TO MATCH EXISTING
4	CLOSET	WOOD	STAIN	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	MAPLE TO MATCH EXISTING
5	BATH	CERAMIC TILE	-----	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	
	BASEMENT										
6	REG. ROOM	CONC.	CERAMIC TILE	WOOD	PAINT	DRYWALL	PAINT			2340mm	

**DOOR SCHEDULE**

NO.	TYPE	SIZE	QTY.	REMARKS
1	EXTERIOR	1525mmx 2030mm	1.	FRENCH DOOR
2	SLAB	760mmx 2030mm	1.	800 SERIES
3	SLAB	610mmx 2030mm	1.	800 SERIES
4	POCKET DOOR	610mmx 2030mm	2.	

**LINTEL SCHEDULE**

NO.	DESCRIPTION
L1	2-38x184 SPRUCE
L2	3-38x184 SPRUCE
L3	2-38x235 SPRUCE
L4	3-38x235 SPRUCE
L5	2-38x286 SPRUCE
L6	3-38x286 SPRUCE
L7	90mmx 90mm 6mm L
L8	90mmx 90mm 8mm L
L9	100mmx 90mm 6mm L

**LEGEND**

- DUPLEX OUTLET ( WEATHERPROOF )
- DUPLEX OUTLET ( HGT. ABOVE FLR. )
- DUPLEX OUTLET ( 300mm ABOVE FLR. )
- EXHAUST FAN
- SWITCH
- HOSE BIB
- SMOKE DETECTOR
- HEAVY DUTY OUTLET
- LIGHT FIXTURE ( WALL MOUNTED )
- LIGHT FIXTURE ( CEILING MOUNTED )
- POT LIGHT FIXTURE
- LIGHT FIXTURE ( WATER RESISTANT )
- LIGHT FIXTURE ( CAPPED )
- FLUORESCENT LIGHT FIXTURE
- SOLID WOOD BEARING
- FLOOR DRAIN
- TV CABLE OUTLET
- TELEPHONE OUTLET
- COMPUTER OUTLET
- DRYER EXHAUST

**WINDOW SCHEDULE**

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/ A MIN. AREA OF 0.35m<sup>2</sup> W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1M ABOVE FLOOR

NO.	TYPE	SIZE	QTY.	REMARKS
1	CASEMENT	1525mmx 1525mm	1.	MAXIMUM U-VALUE 1.8
2	CASEMENT	610mmx 1525mm	2.	MAXIMUM U-VALUE 1.8
3	SLIDER	915mmx 450mm	2.	MAXIMUM U-VALUE 1.8